

**Summer Brook**

**APN: 102-210-12  
&  
APN: 102-220-13**

**Wildland Fire Safe Plan**

**Prepared for:**

**Holloway Land Company**

**Prepared by:**

**CDS Fire Prevention Planning  
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**July 4, 2014**

Summer Brook

Plan Approved by:

*Guy Delaney*  
Guy Delaney, FC  
Fire Marshal  
Rescue Fire Protection District

7-10-14  
Date

*Darin McFarlin*  
Darin McFarlin, FC  
Fire Prevention  
California Department of  
Forestry and Fire Protection

7-14-14  
Date

Prepared by:

*William F. Draper*  
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RPF #898

7/14/14  
Date



# Summer Brook

## CONTENTS

I.	Purpose.....	4
II.	Fire Plan Limitations.....	4
III.	Wildfire Fire Safe Plan.....	5
	1. Project Description.....	5
	2. Project Vegetation (Fuels).....	5
	3. Problem Statements.....	6
	4. Goals.....	6
	5. Wildfire Mitigation Measures.....	6
	6. Building Setbacks.....	8
	7. Other Fire Safe Requirements.....	8
IV.	Appendix	
	A. Firescaping Standards.....	10
	B. Fuel Treatment Specifications Oak Woodland.....	12
	C. Enclosed Deck Guidelines.....	12
	D. Turnout.....	13
	E. Maps.....	15
	Location Map, Parcel Map, Plot Map	
	F. Rescue Gate Policy.....	18
	G. CALFIRE Guideline.....	19
	H. Notice of Fire Hazard Inspection.....	20

## **I. PURPOSE AND SCOPE**

Communities are increasingly concerned about wildfire safety. Drought years coupled with flammable vegetation and annual periods of severe fire weather insure the potential for periodic wildfires.

The purpose of this plan is to assess the wildfire hazards and risks of the Summer Brook development and to identify measures to reduce these hazards and risks and protect the native vegetation. There are moderate fuel hazards and topography associated with this proposed development both on and adjacent to the project.

The possibility of large fires occurring when this project is complete will be greatly reduced. However, small wildfires in the open space areas and on the larger lots may occur due to the increase in public uses.

Incorporation of the fire hazard reduction measures into the design and maintenance will reduce the size and intensity of wildfires and help prevent catastrophic fire losses. State and County regulations provide the basic guidelines and requirements for fire safe mitigation measures and defensible space around dwellings. This plan builds on these basic rules and provides additional fire hazard reduction measures customized to the topography and vegetation of the development with special emphases on the interface of homes and wildland fuels.

The scope of the Summer Brook subdivision Wildland Fire Safe Plan recognizes the extraordinary natural features of the area and designs wildfire safety measures which are meant to compliment and become part of the development design. The Plan contains measures for providing and maintaining defensible space around future homes. Plan implementation measures must be maintained in order to assure adequate wildfire protection.

Homeowners who live in and adjacent to the wildfire environment must take primary responsibility along with the fire services for ensuring their homes have sufficient low ignitability and surrounding fuel reduction treatment. The fire services should become a community partner providing homeowners with technical assistance as well as fire response. For this to succeed, it must be shared and implemented equally by homeowners and the fire services.

## **II. FIRE PLAN LIMITATIONS**

The Wildland Fire Safe Plan for this development does not guarantee that wildfire will not threaten, damage or destroy natural resources, homes or endanger residents. However, the full implementation of the mitigation measures will greatly reduce the exposure of homes to potential loss from wildfire and provide defensible space for firefighters and residents as well as protect the native vegetation. Specific items are listed for homeowner's attention to aid in home wildfire safety.

### **III. WILDLAND FIRE SAFE PLAN**

#### **1. PROJECT DESCRIPTION**

This ninety acre project is located within the unincorporated community of Rescue on a generally south and west facing slope north of Green Valley Road and east of Deer Valley Road. An unnamed drainage cuts through the property. This project is splitting the acreage into 29 residential lots with roads and open space. Each lot is a minimum of 56,591 sqft (1.3 ac) in size. The property lies north of Pleasant Grove School. Access is from Green Valley Road. The key topographic features are gentle slopes with a scattered oak overstory and seasonal drainage flowing through a portion of the project. Slopes range generally less than 10% with some steeper areas mostly along the banks of the drainage.

Structural fire protection is provided by the Rescue Fire Protection District and wildland fire protection by the California Department of Forestry and Fire Protection (CALFIRE). A fire hydrant system will serve the new homes serviced by EID. The fire hydrant spacing shall be agreed to and reviewed by Rescue Fire Protection District. All lots will be required to meet all clearance requirements in PRC 4291.

A fuel hazard reduction zone (FHRZ) shall be constructed and maintained annually along both sides of the roads, each driveway, around the perimeter of the development, and adjacent to all properties bordering the open spaces. The zone along the road shall be a minimum of 10' on each side of the roadway. Sidewalks and landscaping may be a part of this zone. Each driveway shall have a 10' FHRZ along each side. Maintained landscaping may be used in this zone. The tree canopy over any roadway and driveway shall be pruned up 15' and the canopy closure must be less than 50%. This minimizes ladder fuels and allows emergency equipment safer access. The fuel hazard reduction zone around the perimeter of the development in Lot A shall be 50' from the exterior property line. Lot B shall be treated from the exterior property line to the residential lot lines. The FHRZ in Lot C shall be from the top of the channel bank to the residential lot lines. Lot D shall be either a maintained landscaping or if natural vegetation, treated fully. All the residential lots adjacent to the open space will need to have nonflammable fencing.

#### **2. PROJECT VEGETATION (FUELS)**

For wildfire planning purposes the vegetation is classified as follows:

- (a) ground fuels-blackberries, poison oak, and annual grasses with scattered down trees and limbs
- (b) overstory- Gray pines, Black oaks, Blue/White oaks and Liveoak
- (c) riparian-grasses, forbes and blackberries

The heaviest fuel loading is along the drainage channel and pond. Fuels in Lot A under the transmission lines is mainly grass. Tree limbs under and around the oaks need removing as well as limbing up of the trees. The problem of fuel laddering can be very significant. A thorough cleanup of limbs on the ground and tree pruning will greatly reduce the fire hazard. Annual treatment of the grass will be vital each year to reduce the residences from wildland fire exposure. The oaks have a light to heavy infestation of mistletoe. It is recommended that this be treated to help retain the oaks. It is recommended that the blackberry patches be eliminated around the pond in Lot B and in the drainage in Lot C.

### **3. PROBLEM STATEMENTS**

**A. The ground fuels on the slopes will ignite and have a rapid rate of spread.**

Fire in the ground fuels on the slopes is the most serious wildfire problem for this project.

**B. A percentage of the project has transmission lines going through the area, which potentially can increase the rate of wildfire spread.**

Wildfires rate of spread increases dramatically as slope increases. This project has moderate grassy slopes.

**C. Risk of fire starts will increase with development.**

The greatest risk from fire ignition will be along roads, in the open space areas and on large lots as human use on these areas increase.

**D. Provisions must be made to maintain all fuel treatments.**

The wildfire protection values of fuel reduction are rapidly lost if not maintained. Annual maintenance by June 1 is necessary.

**E. Typical home design and siting often does not recognize adequate wildfire mitigation measures.**

A review of many wildfires has conclusively shown that most home losses occur when: (1) there is inadequate clearing of flammable vegetation around a house, (2) roofs are not fire resistant, (3) homes are sited in hazardous locations, (4) firebrand ignition points and heat traps are not adequately protected and (5) there is a lack of water for suppression.

### **4. GOALS**

- A. Modify the continuity of high hazard vegetation fuels.
- B. Reduce the size and intensity of wildfires.
- C. Ensure defensible space is provided around all structures.
- D. Design fuel treatments to minimize tree removal
- E. Ensure fuel treatment measures are maintained.
- F. Identify fire safe structural features.
- G. Help homeowners protect their homes from wildfire.

### **5. WILDFIRE MITIGATION MEASURES**

Wildfire mitigation measures are designed to accomplish the Goals by providing and maintaining defensible space and treating high hazard fuel areas. Fire hazard severity is reduced through these mitigation measures. The Wildland Fire Safe Plan places emphasis on defensible space around structures.

The Summer Brook development is surrounded by rural residential areas. The roads are designed to be 24'. The 2 cul-de-sacs will have 50' turning radii. Tree canopy over the roadway must not be continuous and no more than 50% touching in the crown. There must

be at least 15 feet of vertical clearance over the roadway where tree canopy exists. No roadside parking will be allowed. Curbs are to be rolled. Roadside parking will only be allowed in parking bays. A turnout will be required at each fire hydrant to allow for the passage of vehicles. All roads must meet El Dorado County Department of Transportation weight requirements.

A fire sprinkler system meeting California Residential Building Code and Rescue Fire Protection District specifications shall be installed in each new residence. Water for this development is to be supplied by El Dorado Irrigation District.

This project is within a Moderate/High Fire Hazard Severity Zone. Rescue Fire Protection District provides all fire and emergency medical services to this project. The California Department of Forestry and Fire Protection (CAL FIRE) has wildland fire responsibility in state responsibility areas (SRA).

A drainage protection zone should extend for 10 feet on either side of the drainage. This should be a natural area left undisturbed. It provides a buffer protecting water quality. Fuel hazard reduction should occur outside this zone to the residential lot lines.

One acre and larger lots are subject to 30' setbacks. An exception will be granted if the structures not meeting this setback requirement comply with California Building Code 7A. Setbacks of 15' would be acceptable.

### **Mitigation Measures:**

**More restrictive standards may be applied by approving El Dorado County Authorities. Approval of this plan does not by itself guarantee approval of this project.**

- **Lots over 1 acre shall be landscaped to Firescaping Standards Zones I and II (100 feet).**
  - a. **Responsibility- homeowner within one year of occupancy**
- **Driveways over 300 feet shall provide for a turnout near the midpoint of the driveway. Vertical clearance for the entire length of the driveway will be 15 feet.**
  - a. **Responsibility- homeowner**
- **Driveways over 150' in length shall have a turn-around at the residence within 150' but no closer than 50'.**
  - a. **Responsibility- homeowner**
- **All fuel hazard reduction zones shall be maintained annually by June 1.**
  - a. **Responsibility- HOA/homeowner**
- **All homes shall have Class A listed roof assembly.**
  - a. **Responsibility- homeowner**
- **Decks that are cantilevered over the natural slope shall be enclosed.**
  - a. **Responsibility- homeowner (See Appendix D for guidelines)**
- **All lots shall have a 30 foot setback for buildings and accessory buildings or to all property lines whichever is less in the rear and a 30 foot setback**

from the center of the road. Side yard setbacks are being modified according to the RE 5-PD requested by the developer (See Item 6, page 8 with lots for setback exception).

- a. Responsibility- builder
- All fencing adjacent to open space shall be nonflammable.
    - a. Responsibility- builder/homeowner

## **6. BUILDING SETBACKS ON ONE ACRE OR LARGER LOTS**

State SRA Regulations (1276.01) requires a minimum of a 30 foot setback from all property lines or to the center of the road for lots 1 acre or larger.

All the lots can not meet the State setback on one or more sides. Criteria for identification of these lots are; (a) access road frontage less than 100 feet, (b) lot shape (c) RE 5-PD.

### **Request for SRA Exception**

As authorized representative, the consultant requests an Exception to 1276.01, Setback Standards for the 1 acre or larger lots.

Mitigation practices providing the same overall practical effect as 1276.01 Regulations are:

1. Firescaping standards will be implemented to the building front and side yards to the lot lines, regardless of distances to these lines.
  - a. This will ensure a continuous belt of Firescaping to neighboring lots.
2. Setbacks will not be less than those required by El Dorado County Zoning Ordinance 17.28.040(D).
3. Setbacks less than 30' shall require that all structures meet California Building Code 7A.
4. Windows on the side(s) of the structure, less than 30 feet from a property line, shall have tempered glass with an approved fire resistant frame.
5. Doors on the side(s) of the structure, less than 30 feet from the property line, shall be self closing and one hour rated.
6. Rafter tails shall be enclosed with noncombustible material on the side(s) of the structure that is less than 30 feet from the property line.
7. Exterior wall sheathing shall be one hour rated noncombustible sheathing on the side(s) of the structure that is less than 30 feet from the property line.
8. Gutters and downspouts shall be noncombustible.
9. Attic and floor vents shall be covered with ¼ inch or less noncombustible mesh and horizontal to the ground.

Approval of this Plan by the CALFIRE and the Rescue Fire Protection District will constitute the approval of this Exception.

## **7. OTHER FIRE SAFE REQUIREMENTS**

- A. Fuel hazard reduction zone prescriptions:



Lot A shall have a 50' treatment zone from the exterior property line.

Lot B shall have a treatment zone from the exterior property line to the residential lot lines.

Lot C shall have a treatment zone from the top of the channel bank to the residential lot lines.

Lot D shall be either landscaped or treated.

- B. Every 5 years the Fire Department may review open space areas with the legal entity for the development to determine if additional fuel hazard reduction work is necessary.
- C. A Notice of Restriction shall be filed with the final subdivision map which stipulates that a Wildland Fire Safe Plan has been prepared and wildfire mitigation measures must be implemented.
- D. The project shall meet all the Public Resource Codes 4290 as amended (the 1991 SRA Fire Safe Regulations- Article 2 Access, Article 3 Signing, Article 4 Water, Article 5 Fuels), County and Fire Department ordinances.
- E. A legal entity (HOA) shall be created with authority for maintaining and enforcing all fuel treatment mitigation measures if homeowners fail to implement or maintain. Covenants, Conditions and Restrictions must be developed to ensure the enforcement of the structural Fire Safe regulations.
- F. The homeowner/property owner is responsible for any future fire safe or building code changes adopted by the State or local authority when a new building permit is issued.
- G. All driveways must be a minimum of 12 feet wide.
- H. All gates must be at least 2 feet wider than the driveway they gate and set in at least 30 feet from the road. A Knox lock system acceptable to Rescue Fire shall be used. (See attached gate policy)
- I. Any gate on a roadway shall comply with the Rescue Fire gate standard and have an approved opticon opening system.
- J. Roadway must be posted "No Parking" on the roadways. Parking bays shall be required.
- K. Turnouts shall be required at each fire hydrant location along the roadways.
- L. Vegetation in the fuel hazard reduction zones (FHRZ) and road shoulders shall be maintained annually by June 1 by the HOA/homeowners.

## **F. Appendix**

## Appendix A

### SUMMER BROOK Firescaping Standards

Firescaping is an approach to landscaping to help protect homes from wildland fires. The goal is to create a landscape that will slow the advance of a wildfire and create a Defensible Space that provides the key point for fire fighting agencies to defend the home. This approach has a landscape zone surrounding the home containing a balance of native and exotic plants that are fire and drought resistant, help control erosion, and are visually pleasing. Firescaping is designed not only to protect the home but to reduce damage to oaks and other plants.

#### Zone I

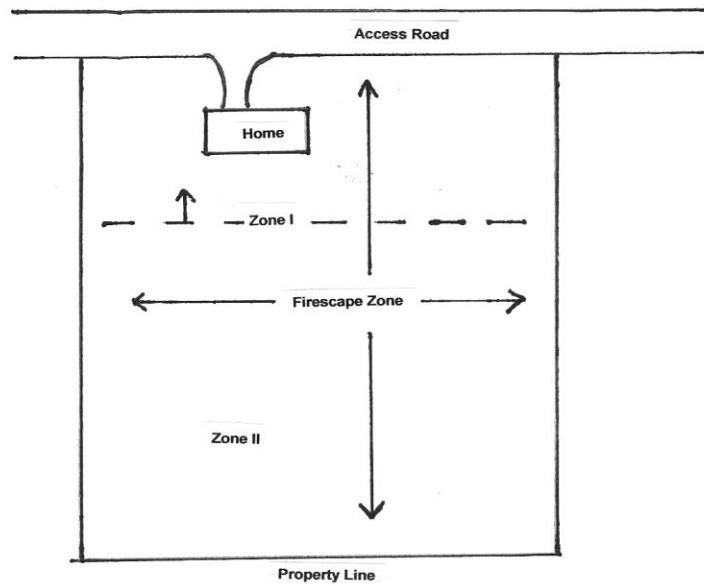
The zone extends to not less than 30 feet from all structures **or to the property line** in all directions and has a traditional look of irrigated shrubs, flowers gardens, trees and lawns. All dead trees, brush, concentrations of dead ground fuels (tree limbs, logs etc. exceeding 1 inch in diameter) are removed. All native oak trees and brush species are pruned up to 6-8 feet above the ground as measured on the uphill side but no more than 1/3 of the live crown. The plants in this zone are generally less than 18 inches in height, must be slow to ignite from wind blown sparks and flames. Such plants produce only small amounts of litter and retain high levels of moisture in their foliage year around. Native and exotic trees are permitted inside the Zone except for Gray pines, but foliage may not be within 10 feet of the roof or chimney. Grass and other herbaceous growth within this zone must be irrigated or if left to cure must be mowed to 2 inch stubble, chemically treated or removed. Such treatment must be accomplished by June 1, annually. This zone has built in firebreaks created by driveways, sidewalks etc.

#### Zone II

This Zone adds 70 feet to Zone I and extends a minimum of 100 feet from all structures in all directions, **or to the property line** and is a transition area to the outlying vegetation. The zone is a band of low growing succulent and ground covers designed to reduce the intensity, flame length and rate of spread of an approaching wildfire. Irrigation may be necessary to maintain a quality appearance and retain the retardant ability of the plants. All dead trees, dead brush, concentration of dead ground fuels (tree limbs, logs etc.) exceeding 2 inches in diameter are removed. Annual grasses are mowed after they have cured to a 2 inch stubble by June 1, annually. Native trees are preserved and pruned of limbs up to 8 feet above the ground as measured on the uphill side. Brush may be in isolated clumps free of tree canopy. Dead limbs must be pruned out. If Gray pines are to remain in this zone, they must be isolated from surrounding brush species by at least 10 feet on all sides of the pine.

**APPENDIX A-1  
FIRESCAPING ZONES  
EXHIBIT**

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**Typical Lot in Oak Woodland**  
(schematic, no scale)

**APPENDIX B**

**SUMMER BROOK**  
**FUEL TREATMENT SPECIFICATIONS**  
**For**  
**OAK WOODLAND VEGETATION**

**Within The Designated Fuel Treatment Areas**

1. Leave all live trees **EXCEPT** Gray pines.
2. Remove all dead trees.
3. Remove all brush or leave small isolated clumps.
4. Prune all live trees of dead branches and green branches 8 feet from the ground as measured on the uphill side of the tree, except no more than 1/3 of the live crown is removed. All slash created by pruning must be disposed of by chipping or hauling off site.
5. Annually by June 1, reduce the grass or weeds to a 2 inch stubble by mowing, chemical treatment, disking or a combination of treatments.
6. Mature, multi stem Live Oak trees: must have all dead limbs and stems removed, green stems cut off at 8 feet above the ground as measured on the uphill side that arch over and are growing towards the ground.
7. Gray pines in Zone II or farther out from structures must be isolated from any brush by at least 10 feet.

**APPENDIX C**

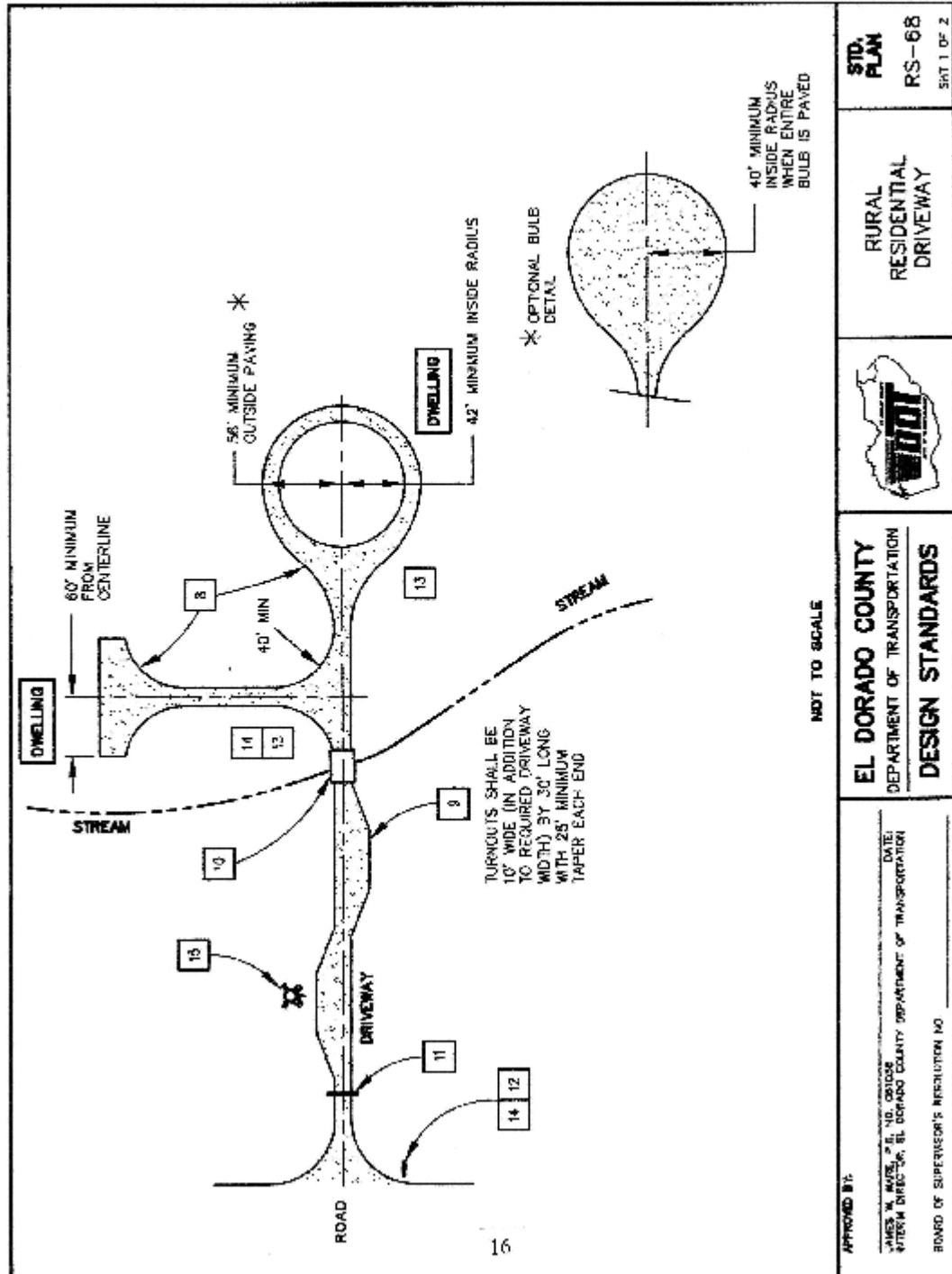
**SUMMER BRROK**

**ENCLOSED DECK GUIDELINES**

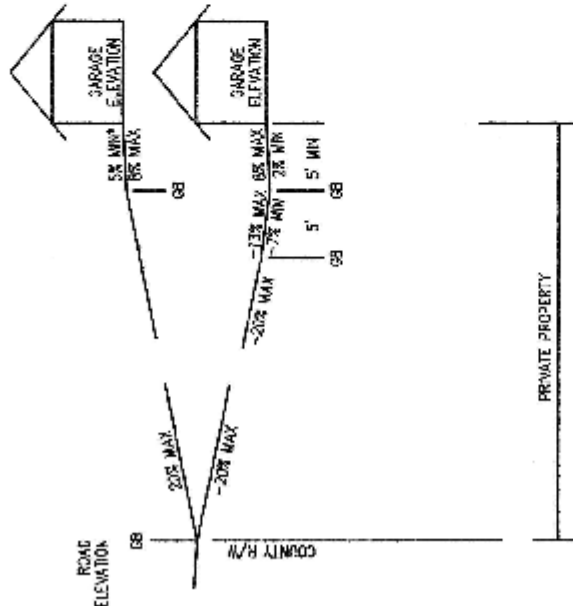
The purpose of enclosing decks that are cantilevered out over the natural slope is to help prevent heat traps and fire brands from a wildfire igniting the deck or fuels under the deck.

1. This does not apply to decks that are constructed using fire resistant materials such as concrete, steel, stucco etc.
2. This applies to decks one story or less above natural slopes.
3. Combustible material must not be stored under the deck.

# Appendix D



\* MAY BE 2% WITH ADDITIONAL GRADE BREAKS



DRIVEWAY GRADE STANDARDS  
NOT TO SCALE

# NOTES:

1. MAXIMUM 10% GRADE BREAK BETWEEN DRIVEWAY SECTIONS (I.E. AREAS IN DRIVEWAY WHERE GRADE CHANGES). ADDITIONAL GRADE BREAKS ARE ALLOWED. DRIVEWAY CONNECTING TO A COUNTY MAINTAINED ROAD REQUIRES A COUNTY ISSUE ENCROACHMENT PERMIT. SEE APPROACHMENT STANDARD PLAN.
2. EACH DRIVEWAY SHALL SERVE NO MORE THAN TWO BUILDINGS WITH NO MORE THAN THREE DWELLING UNITS ON A SINGLE PARCEL, AND ANY NUMBER OF ACCESSORY BUILDINGS.
3. GRADE NOT TO EXCEED 10% (DRIVEWAY GRADE MAY BE UP TO 20% WHEN PAVED). 12' WIDE MINIMUM, CENTERLINE RADIUS ON CURVES 5' 00" MINIMUM, VERTICAL CLEARANCE OF 15' MINIMUM.
4. DRIVEWAY SURFACE MUST BE ALL-WEATHER AND SUPPORT 75,000 POUNDS MINIMUM. SURFACING ON DIRT COMPACTED SOIL IS 4" AGGREGATE BASE. DRIVEWAY SURFACING DESIGNS MUST BE PRINTED FROM A CIVIL ENGINEER. DRIVEWAY SURFACING DESIGNS MUST BE PRINTED FROM A CIVIL ENGINEER. DRIVEWAY SURFACING DESIGNS MUST BE PRINTED FROM A CIVIL ENGINEER. DRIVEWAY SURFACING DESIGNS MUST BE PRINTED FROM A CIVIL ENGINEER.
5. DRIVEWAYS AT OR ABOVE 1,000 FT. ELEVATION SHALL INCLUDE PARKING AREAS AS SET FORTH IN THE COUNTY'S ZONING CODE.
6. IF IN THE THICK DASH, DRIVEWAY MUST MEET TPOA REQUIREMENTS AND THE REQUIREMENTS OF THIS STANDARD PLAN WHERE THEY DO NOT CONFLICT.
7. TURN AROUNDS SHALL BE HANDED, 14" OR 16" RADIUS SHAPED BULB. TURNAROUNDS SHALL BE NO MORE THAN 50' FROM BUILDINGS WHEN DRIVEWAY EXCEEDS 500' IN LENGTH.
8. DRIVEWAYS EXCEEDING 150' IN LENGTH, BUT LESS THAN 300' IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 300', TURNOUTS SHALL BE PROVIDED NO MORE THAN 400' APART. TURNOUTS SHALL BE SUFFICIENT WIDE AS THE DRIVEWAY.
9. BRIDGES AND CULVERTS SHALL BE DESIGNED BY A CIVIL ENGINEER AND SHALL SUPPORT A MINIMUM LOAD OF 20,000 POUNDS. SIGNS SHALL BE POSTED ON BRIDGES WHICH INDICATE THE WEIGHT LIMIT, WIDTH AND HEIGHT RESTRICTIONS. SINGLE LANE BRIDGES REQUIRE TURNOUTS ON EACH SIDE OF THE BRIDGE.
10. GATES SHALL BE OPEN TO PROVIDE A CLEAR OPENING AT LEAST 2 FEET WIDER THAN THE DRIVEWAY AND NOT LESS THAN 14 FEET WIDE. GATE TO BE LOCATED 30' MINIMUM FROM THE ROAD, AND OPEN AWAY FROM THE ROAD.
11. ADDRESSES TO BE 4" HIGH WITH 1/8" STROKE WIDTH LETTERS OR NUMBERS, REFLECTORIZED WITH CONTRASTING BACKGROUND AND VISIBLE FROM BOTH DIRECTIONS. MULTIPLE ADDRESSES SHALL BE ON A SINGLE POST.
12. ALL INTERSECTIONS SERVING DWELLING UNITS SHALL HAVE ADDRESS SIGNS THAT CLEARLY IDENTIFY THE LOCATION OF EACH DWELLING UNIT.
13. ADDRESS SIGNS MUST BE CLEARLY VISIBLE ABOVE BROWN HEIGHT CONTACT THE APPLICABLE FIRE PROTECTION DISTRICT FOR SPECIFIC HEIGHT REQUIREMENTS.
14. FIRE APPARATUS SHALL BE LOCATED NEAR TO FIRE HYDRANTS, STANDARDS OR WATER SUPPLY STRUCTURES.
15. VARIATIONS TO THIS STANDARD MAY ONLY BE APPROVED BY THE FIRE PROTECTION DISTRICT HAVING JURISDICTION.

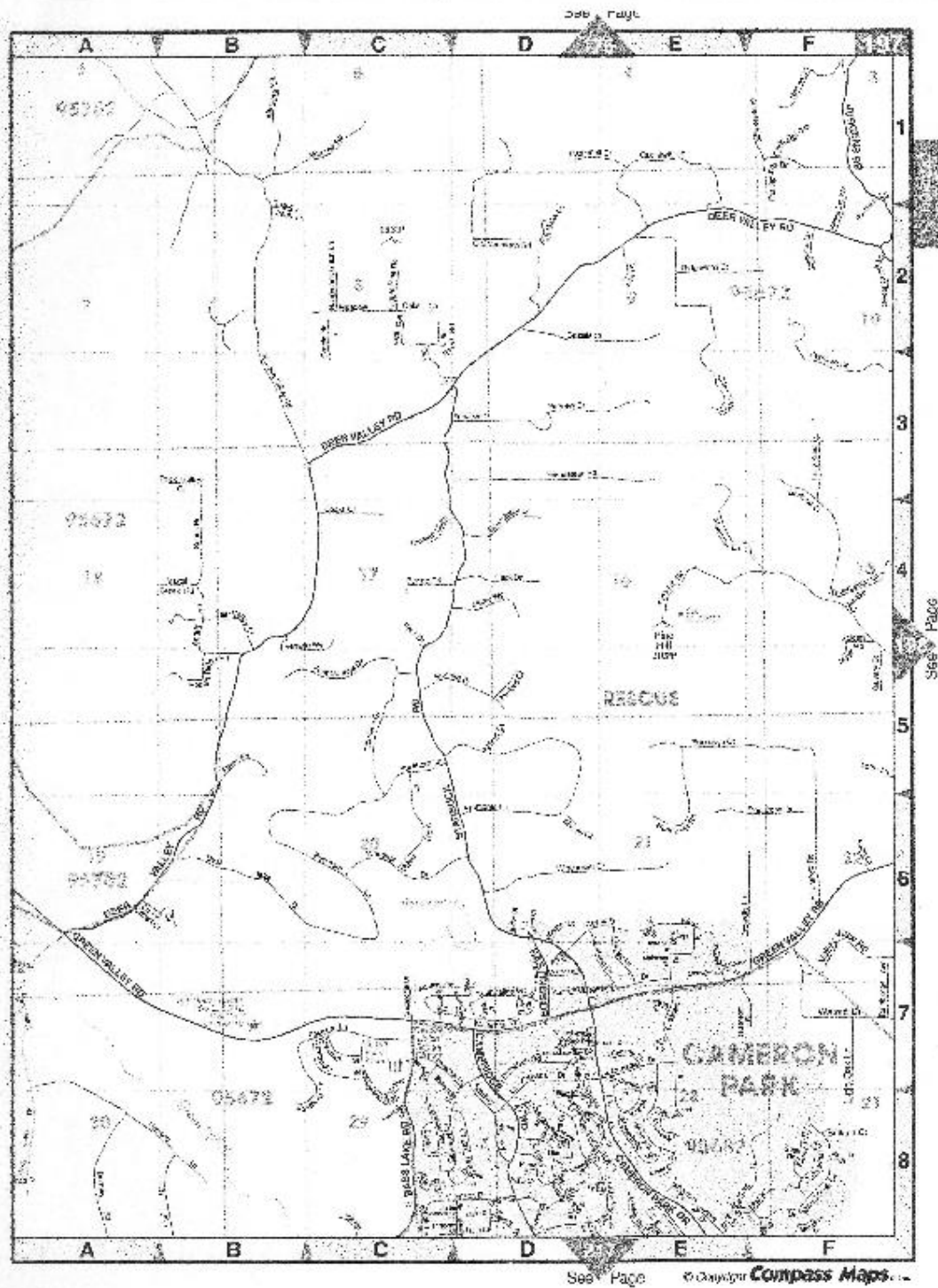
EL DORADO COUNTY  
DEPARTMENT OF TRANSPORTATION  
DESIGN STANDARDS

APPROVED BY: JAMES W. MAISE, JR., EL DORADO COUNTY DEPARTMENT OF TRANSPORTATION  
DATE: \_\_\_\_\_  
BOARD OF SUPERVISORS RESOLUTION NO. \_\_\_\_\_

STD. PLAN  
RS-68  
SHEET 2 OF 2

RURAL  
RESIDENTIAL  
DRIVEWAY







# APN 10221012



Aerials Copyright 2003,2004,2005,2007,2011 All Rights Reserved

Disclaimer: This depiction was compiled from official public and private sources and is illustrative only. No representation is made as to accuracy of this information. Parcel boundaries are particularly unreliable. Users make use of this depiction at their own risk.

Image on 7/2/2018 from L. Dorcas County Surveyors Office



0 500 700 1,000  
Feet  
Map displayed in State Plane Coordinate System  
(NAD 1983 California Zone 2, feet)





# TENTATIVE MAP

## SUMMER BROOK

NORTH 1/2 SEC. 30, T. 10 N., R. 9 E., M.D.B. & N.  
SOUTHEAST 1/4 SEC. 19 & SOUTHWEST 1/4 SEC. 20, T. 10 N., R. 9 E., M.D.B. & N.

COUNTY OF EL DORADO  
APRIL 20, 2014

SHEET 1 OF 1

STA. 7 OF 041 FORBIA  
SCALE: 1" = 100'



OWNER: APPALACHIAN

PREPARED BY:

DATE:

SECTION: 100% SITE PLAN AND 20% G&E

SECTION: 100% SITE PLAN AND 20% G&E

SECTION: 100% SITE PLAN AND 20% G&E

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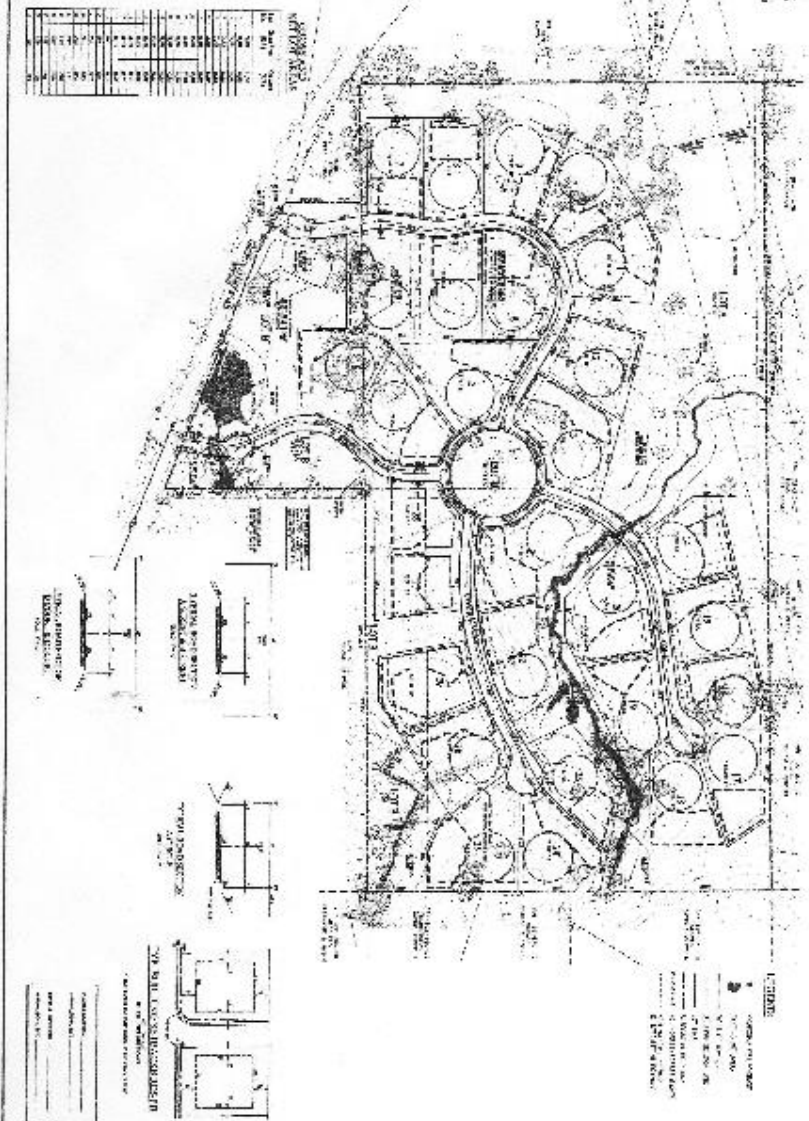
SECTION: 100% SITE PLAN AND 20% G&E

SECTION: 100% SITE PLAN AND 20% G&E

SECTION: 100% SITE PLAN AND 20% G&E

SECTION: 100% SITE PLAN AND 20% G&E

SECTION: 100% SITE PLAN AND 20% G&E



NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT
1	LOT 1	10,000	10.00
2	LOT 2	10,000	10.00
3	LOT 3	10,000	10.00
4	LOT 4	10,000	10.00
5	LOT 5	10,000	10.00
6	LOT 6	10,000	10.00
7	LOT 7	10,000	10.00
8	LOT 8	10,000	10.00
9	LOT 9	10,000	10.00
10	LOT 10	10,000	10.00
11	LOT 11	10,000	10.00
12	LOT 12	10,000	10.00
13	LOT 13	10,000	10.00
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62	LOT 62	10,000	10.00
63	LOT 63	10,000	10.00
64	LOT 64	10,000	10.00
65	LOT 65	10,000	10.00
66	LOT 66	10,000	10.00
67	LOT 67	10,000	10.00
68	LOT 68	10,000	10.00
69	LOT 69	10,000	10.00
70	LOT 70	10,000	10.00
71	LOT 71	10,000	10.00
72	LOT 72	10,000	10.00
73	LOT 73	10,000	10.00
74	LOT 74	10,000	10.00
75	LOT 75	10,000	10.00
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77	LOT 77	10,000	10.00
78	LOT 78	10,000	10.00
79	LOT 79	10,000	10.00
80	LOT 80	10,000	10.00
81	LOT 81	10,000	10.00
82	LOT 82	10,000	10.00
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85	LOT 85	10,000	10.00
86	LOT 86	10,000	10.00
87	LOT 87	10,000	10.00
88	LOT 88	10,000	10.00
89	LOT 89	10,000	10.00
90	LOT 90	10,000	10.00
91	LOT 91	10,000	10.00
92	LOT 92	10,000	10.00
93	LOT 93	10,000	10.00
94	LOT 94	10,000	10.00
95	LOT 95	10,000	10.00
96	LOT 96	10,000	10.00
97	LOT 97	10,000	10.00
98	LOT 98	10,000	10.00
99	LOT 99	10,000	10.00
100	LOT 100	10,000	10.00





## Rescue Fire Protection District

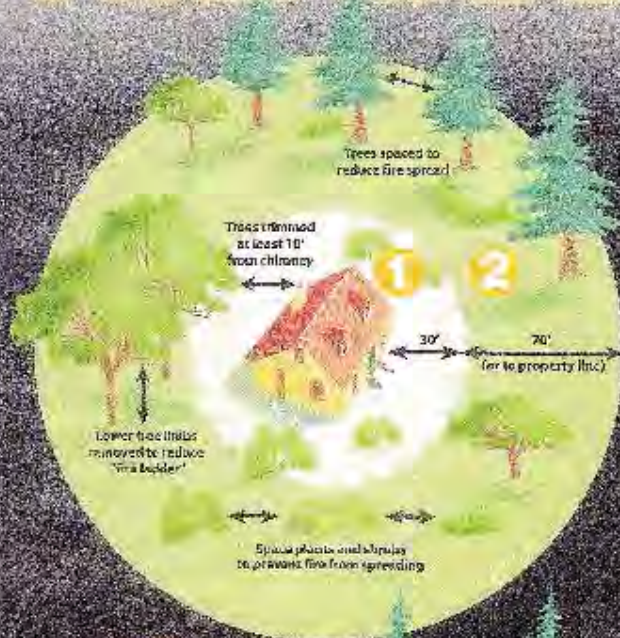
• P.O. Box 201 Rescue, CA 95672 • Phone: (530) 677-1868 • Fax: (530) 677-9609  
www.rescuefiredepartment.org

The Rescue Fire Protection District has adopted a policy regarding the installation and maintenance of driveway gates. We have put together a list of items that you must consider prior to any installation.

- All driveways must meet all current fire code requirements.
  - Gates shall be two feet wider than the required 12' driveway.
  - All automatic gates shall be equipped with a "Knox" key switch.\*
  - All manual gates shall have a "Knox" padlock in series with the homeowner's lock.\*
  - All automatic gates shall also be equipped with a receiver and transmitter with a minimum 25' range.
  - All automatic gates shall be equipped with a mechanical release.
  - A loop system shall be provided to keep the gate open as long as traffic is passing through the gate.
  - All automatic gates must reach the fully open position within a total time not to exceed one second for each one foot of width.
  - All automatic gates shall be designed to automatically open and remain in a fully opened position during power failures.
  - Gates creating a dead-end driveway in excess of 150' shall provide provisions for turning around fire apparatus.
  - No device may be used which will delay or prohibit either ingress or egress of emergency responders including, but not limited to, fixed tire spikes and speed bumps.
  - The total number of vehicle access control gates or systems through which emergency equipment must pass to reach any address shall not exceed one.
  - It is the homeowner's responsibility to check with the county planning department for any needed permits.
  - One set of plans for the installation of gates and fire department access shall be submitted and approved by the Rescue Fire Protection District prior to installation.
  - Gates and access control equipment shall not be placed into service prior to being inspected and tested by the Rescue Fire Protection District.
- \* Applications for Knox key switches and padlocks can be obtained from the Fire District.

We are here to assist you with your project. If you have any questions, please feel free to contact our office.

# 100' DEFENSIBLE SPACE



or



www.itsc.org

Following these three steps can dramatically improve the shape of your front-swinging clubhead.

A **Detachable Space** of 100 feet around your fire is required by law.\* The goal is to protect your tank while providing a safe area for firefighters.

### Summary

- Clearing an area of 30 feet immediately surrounding your home is critical. This area requires the greatest reduction in flammable vegetation.

[illegible]

— The fuel reduction zone in the remaining 70 feet (to property line) will depend on the steepness of your property and the vegetation.

Spacing between plants improves the chance of stopping a wildfire before it destroys your home. You have two options in this area:

🌱 Create horizontal and vertical spacing between plants. The amount of space will depend on how steep the slope is and the size of the plants.

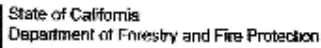
Large trees do not have to be cut and removed as long as all of the plants below them are removed. This eliminates a vertical "food ladder."

When clearing vegetation, use care when operating equipment such as lawnmowers. One small spark may start a fire; a string trimmer is truly safe.

Hazards will build – up of needles and leaves from your roof and gutters. Keep tree limbs trimmed at least 10 feet from any chimneys and remove dead limbs that hang over your home or garage. The law also requires a screen over your chimney or list of not less than 1/8 inch mesh.

These regulations allow a 501(c)(3) organization and its members to obtain below-market prices for the services they need to carry out their charitable purposes. Some of the services may include rent, utilities, food, and other necessities. The regulations also allow a 501(c)(3) organization to obtain below-market prices for the services it needs to carry out its charitable purposes. Some of the services may include rent, utilities, food, and other necessities. The regulations also allow a 501(c)(3) organization to obtain below-market prices for the services it needs to carry out its charitable purposes. Some of the services may include rent, utilities, food, and other necessities.





A representative from CAL FIRE has inspected your property for fire hazards. You are hereby notified to correct the violation(s) indicated below. Failure to correct these violations may result in a citation and fine.

Checked boxes indicate violations.		Corrected	Defensible Space Zone (within 30 feet of all structures or to property line):
<input type="checkbox"/>	<input type="checkbox"/>	2 3	A. Remove leaves, needles or other vegetation on roofs, gutters, decks, porches and stairways etc. PRC §4291(a)(6)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	B. Remove all dead trees, shrubs or other plants adjacent to or overhanging buildings. PRC §4291(a)(5)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	C. Remove all dead or dying branches and stems from trees, shrubs or other plants adjacent to or overhanging buildings. PRC §4291(a)(5)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	D. Remove all branches within 10 feet of any stovepipe or chimney outlet. PRC §4291(a)(4)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	E. Remove all dead or dying grass, leaves, needles or other vegetation. PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	F. Remove or isolate live flammable ground cover and shrubs (i.e. Bear Clover, Mountain Misery, Juniper etc.). PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>		<b>Reduced Fuel Zone (within 30 - 100 feet of all structures or to property line):</b>
<input type="checkbox"/>	<input type="checkbox"/>	2 3	G. Mow dead or dying grass to a maximum of 4 inches in height. Trimmings may remain on the ground. PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	H. Live flammable ground cover less than 18 inches in height (i.e. Mountain Misery, Bear Clover etc.) may remain, but overhanging and adjacent trees must be pruned up to 15 feet. PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	I. Reduce fuels in accordance with the Continuous Tree Canopy Standard (see back). PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	J. Reduce fuels in accordance with the Horizontal Spacing Standard (see back). PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>		<b>Defensible and Reduced Fuel Zone (within 100 feet of all structures or to property line):</b>
<input type="checkbox"/>	<input type="checkbox"/>	2 3	K. Logs or stumps embedded in the soil must be removed or isolated from structures and other vegetation. PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>	2 3	L. Remove all dead or dying brush, trees and branches within 15 feet of the ground. PRC §4291(a)(1)
<input type="checkbox"/>	<input type="checkbox"/>		<b>Other Requirements:</b>
<input type="checkbox"/>	<input type="checkbox"/>	2 3	M. Clear dead, dying or flammable vegetation within 10 feet around and above propane tanks. CFC §3807.3
<input type="checkbox"/>	<input type="checkbox"/>	2 3	N. Address numbers shall be displayed in contrasting colors (4" Min. Size) and readable from the street or access road. CFC §505.1
<input type="checkbox"/>	<input type="checkbox"/>		<b>Other Recommendations:</b>
<input type="checkbox"/>	<input type="checkbox"/>		Cover all chimney or stovepipe openings with a metal screen having openings no larger than 1/2 Inch.
<input type="checkbox"/>	<input type="checkbox"/>		Clear 10 feet around and 15 feet above fuels (i.e. Woodpiles, lumber, scrap etc.). Move woodpiles as far as possible from structures.
<input type="checkbox"/>	<input type="checkbox"/>		Remove flammable materials stored under decks and similar overhangs of structures.
<input type="checkbox"/>	<input type="checkbox"/>		Clear vegetation 10 feet from sides and 15 feet above all driveways and turnaround areas.

Comments:

Additional Information on Back

Complete only if occupant contacted

AEU 0209

(White-Instructor, Canary-1<sup>st</sup> to Occupant, Pink-2<sup>nd</sup> to Occupant, Gold-3<sup>rd</sup> to Occupant)