

**Wildland Fire Safe Plan
Southpointe Meadows
APN: 110-450-07**

**Prepared for:
Hamdi and Zaina Kanaan**

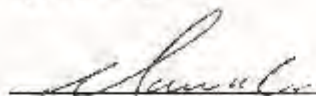
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October 20, 2016

Southpointe Meadows

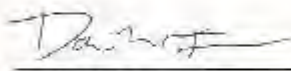
Approved by:



Marshall Cox
Fire Marshall
El Dorado Hills Fire Department

11/10/16

Date




Darin McFarlin, FC
Fire Prevention
California Department of Forestry
and Fire Protection

11-1-16

Date

Prepared by:



William F. Draper
RPF #898

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Southpointe Meadows

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I. Purpose

Communities are increasingly concerned about wildfire safety. Drought years coupled with flammable vegetation and annual periods of severe fire weather insure the potential for periodic wildfires.

The purpose of this plan is to assess the wildfire hazards and risks to Southpointe Meadows, to identify measures to reduce these hazards and risks and protect the native vegetation. There are light fuel hazards and gentle topography associated with this proposed project both on and adjacent to the project.

The possibility of large fires occurring when the development is complete will be greatly reduced. However, small wildfires in the open space areas and on the larger lots may occur due to the increase in public uses.

Incorporation of the fire hazard reduction measures into the design and maintenance of the future parcels will reduce the size and intensity of wildfires and help prevent catastrophic fire losses. State and County regulations provide the basic guidelines and requirements for fire safe mitigation measures and defensible space around dwellings. This plan builds on these basic rules and provides additional fire hazard reduction measures customized to the topography and vegetation of the development with special emphases on the interface of homes and wildland fuels.

The scope of the Southpointe Meadows Wildland Fire Safe Plan (The Plan) recognizes the extraordinary natural features of the area and designs wildfire safety measures which are meant to compliment and become part of the community design. The Plan contains measures for providing and maintaining defensible space around future homes. Plan implementation measures must be maintained in order to assure adequate wildfire protection.

Homeowners who live in and adjacent to the wildfire environment must take primary responsibility along with the fire services for ensuring their homes have sufficient low ignitability and surrounding fuel reduction treatment. The fire services should become a community partner providing homeowners with technical assistance as well as fire response. For this to succeed it must be shared and implemented equally by homeowners and the fire services.

II. FIRE PLAN LIMITATIONS

The Wildland Fire Safe Plan for Southpointe Meadows does not guarantee that wildfire will not threaten, damage or destroy natural resources, homes or endanger residents. However, the full implementation of the mitigation measures will greatly reduce the exposure of homes to potential loss from wildfire and provide defensible space for firefighters and residents as well as protect the native vegetation. Specific items are listed for homeowner's attention to aid in home wildfire safety.

III. THE SOUTHPOINTE MEADOWS WILDLAND FIRE SAFE PLAN

1. PROJECT DESCRIPTION

Southpointe Meadows is located on the east side of the South Pointe development and near the south corner. It is just north of the end of Lomita Court in the Lakehills area of El Dorado Hills. Private property borders this project on all sides. The access to the project is Castic Way to Villa Del Sol. A new road, South Meadow Court, will be constructed from this intersection to serve 7 new lots being developed. South Meadow Court will be a total of 32' wide. Parking shall be restricted to one side of the street only. A secondary emergency evacuation access (EVA) will also be built connecting South Meadow Court to Lomita Court. This road will need to be 20 feet plus a one-foot shoulder on each side. It shall have an all-weather surface and capable of supporting a 75,000 pound vehicle. The shoulder shall be kept free of low herbaceous vegetation. The purpose of the secondary emergency access road is to allow the residence an evacuation route if their normal route of travel is blocked by an emergency. Trees along the road edge shall be limbed so there is 15' of vertical clearance over the roadway. The road shall have a gate with an automatic opening system that fully meets El Dorado Hills Fire Department gate standards. This gate, opener and Knox lock shall all conform to the specifications of the El Dorado Hills Fire Department. All road construction shall conform to the El Dorado County Transportation Division (TD) standards.

Any private gate shall meet the requirements for El Dorado Hills Fire Department. The gate must be inset from the roadway at least 30' and be 2 feet wider than the driveway. A Knox lock system would be required and agreed to with the fire department. The project is proposing to split parcel APN: 110-450-072 into 7 one acre residential parcels. Each parcel will be a minimum of 1.0 acre in size. All the parcels shall have EID water. Residential 13D fire sprinklers shall be required by the California Residential Building Code.

The El Dorado Hills Fire Department provides all fire and emergency medical services to this project. The California Department of Forestry and Fire Protection (CAL FIRE) has wildland fire responsibility in state responsibility areas (SRA).

2. PROJECT VEGETATION (FUELS)

For wildfire planning purposes the vegetation is classified as follows:

- (a) ground fuels- annual grasses
- (b) overstory- scattered oaks and gray pines.

The property is generally flat with a gentle slope. Lots 3, 4 and 5 are on steeper slopes. Lots 4 and 5 are mostly east facing while the remaining lots are on a gentle south facing slope. Limbing of trees is important to reduce their susceptibility from a ground fire. Tree limbs should not overhang structures and must be at least 10' from chimneys or stovepipes. It is essential that trees along the road and driveways be limbed up at least 15' above the road surface. Fire equipment must have good access to the residences. Tree spacing is a critical component to attaining the required fire safe clearances. A separation or elimination of the gray pines are essential for creating the defensible space around the residence. CAL FIRE guidelines for the 100-foot clearance requirements are attached.

3. PROBLEM STATEMENTS

A. The brush fuels on the slopes will ignite and have a rapid rate of spread.

Fire in the grass and brush fuels on slopes is the most serious wildfire problem for this project.

B. Risk of fire starts will increase with development.

The greatest risk from fire ignition will be along roads and on large lots as human activity increases in these areas.

C. Provisions must be made to maintain all fuel treatments.

The wildfire protection values of fuel reduction are rapidly lost if not maintained. Continued review of potential ladder fuels to maintain a fire safe environment is very important. Annual maintenance by June 1 of each year is necessary.

D. Typical home design and siting often does not recognize adequate wildfire mitigation measures.

A review of many wildfires has conclusively shown that most home losses occur when: (1) there is inadequate clearing of flammable vegetation around a house, (2) roofs are not fire resistant, (3) homes are sited in hazardous locations, (4) firebrand ignition points and heat traps are not adequately protected and (5) there is a lack of water for suppression.

4. GOALS

- A. Modify the continuity of high hazard vegetation fuels.
- B. Reduce the size and intensity of wildfires.
- C. Ensure defensible space is provided around all structures.
- D. Design fuel treatments to minimize tree removal.
- E. Ensure fuel treatment measures are maintained.
- F. Identify fire safe structural features.
- G. Help homeowners protect their homes from wildfire.

5. WILDFIRE MITIGATION MEASURES

Wildfire mitigation measures are designed to accomplish the Goals by providing and maintaining defensible space and treating high hazard fuel areas. Fire hazard severity is reduced through these mitigation measures. The Wildland Fire Safe Plan places emphasis on defensible space around structures. Follow the guidelines in Appendix C for the initial cleanup of vegetation prior to any construction.

The driveway placement and fuel treatments will be extremely important in the development of the new lots. Fuel hazard reduction zones along the roads and 10' along both sides of the driveways. Fuel hazard reduction zone along both roads may include maintained landscaping. Any areas of native vegetation along the roadways shall be treated for 10' from the road edge annually by June 1. Any tree canopy over the road and driveways will have 15' of vertical clearance over the roadways. Landscaping that is maintained may be incorporated into the fuel hazard reduction zones.

All residences shall be required to have NFPA 13D fire sprinkler systems.

The project is located in a High to Very High Fire Hazard Severity Zone. Implementation of Wildland-Urban Interface Fire Areas Building Standards (7A) will be required for the construction of new residences. These standards address roofing, venting, eave enclosure, windows, exterior doors, siding, and decking.

Clearance along the road and around structures is very important and necessary. Fire Safe specifications state that all trees in the fuel hazard reduction zones shall be thinned so the crowns are not touching. Branches on remaining trees shall be pruned up 10 feet as measured on the uphill side of the tree. Brush shall be removed. Grasses shall be kept mowed to a 2-inch stubble annually by June 1. Any tree crown canopy over the driveways shall be pruned at least 15 feet up from the driveway surface. The fuel hazard reduction zone shall continue along both sides of the roads and driveways and be at least 10 feet wide. This zone is in addition to the clearances required by state law. The State required Fire Safe clearances (PRC 4291) shall be implemented around all structures (See CAL FIRE Guideline). Clearances may be required at the time of construction by the County. Any debris piles either from land clearing or construction shall be removed within 30 days of its creation or have a 30 foot clearance maintained around the pile until removed.

More restrictive standards may be applied by approving El Dorado County Authorities. Approval of this plan does not by itself guarantee approval of this project.

Mitigation Measures:

- **Lots 1 acre and larger shall be landscaped to Firescaping Standards Zones I and II. (See Appendix A)**
 - a. **Responsibility- homeowner at the time construction starts and completed after construction**
- **Driveways shall be 12 feet wide. Driveways shall comply with the DT weight and grade standards.**
 - a. **Responsibility- homeowner-builder**

- All private driveway gates shall be inset on the driveway at least 30 feet from the road. Gate opening shall be 2 feet wider than the driveway. Knox lock assess shall be provided to the fire department.
 - a. Responsibility- homeowner
- All homes shall have Class A listed roof covering.
 - a. Responsibility- homeowner
- Decks that are cantilevered over the natural slope shall be enclosed.
 - a. Responsibility- homeowner (See Appendix B for guidelines)
- The houses shall be constructed with exterior wall sheathing that shall be rated noncombustible.
 - a. Responsibility-builder
- Windows and glass doors on all the sides of the structure shall have tempered glass and fire resistant frames.
 - a. Responsibility-builder
- Rafter tails shall be enclosed with noncombustible material on the sides of the structure.
 - a. Responsibility-builder
- Gutters and downspouts shall be noncombustible.
 - a. Responsibility-builder
- Attic and floor vents shall be covered with ¼ inch, or less, noncombustible mesh and horizontal to the ground.
 - a. Responsibility-builder
- All lots shall have a 30-foot setback for buildings and accessory buildings and a 30 foot setback from the center of the road.
 - a. Responsibility- builder

6. **OTHER FIRE SAFE REQUIREMENTS**

- A. Each new property shall be given a printed copy of the Wildland Fire Safe Plan.
- B. Each new property owner prior to construction shall be required to contact El Dorado County Planning Services/Building Department to have the residential (NFPA13D) fire sprinklers plans approved. All fire sprinkler systems shall be designed and installed by a licensed contractor.
- C. Any new road and turn-around shall be built to DT standards. Driveways can only serve one parcel.
- D. A 10' fuel hazard reduction zone along both sides of roads and driveways shall be installed and annually maintained by June 1 to the Fire Safe specifications. Tree canopy over the roads and driveways shall be cleared up 15'.

- E. A Notice of Restriction shall be filed with the final parcel map which stipulates that a Wildland Fire Safe Plan has been prepared and wildfire mitigation measures must be implemented.**
- F. The project shall meet all the Public Resource Codes 4290 as amended (the 1991 SRA Fire Safe Regulations- Article 2 Access, Article 3 Signing, Article 4 Water, Article 5 Fuels), County and Fire Department ordinances.**
- G. The home/property owners are responsible for any future fire safe or building code changes adopted by the State or local authority.**
- H. Only fire rated composite deck material, wood or non-combustibles shall be allowed for decks.**
- I. The emergency evacuation road (EVA) and gate shall be the responsibility of the Home Owners Association. The gate placement and opener shall be determined after consultation with the Fire Department and meet their full gate standard.**
- J. Failure to maintain the gate opener on the EVA shall result in the gate being locked open.**
- K. The Fire Department shall review this plan within 5 years to determine if it is in compliance with current fire safe requirements. The plan may be modified as required.**
- L. Debris piles created by land clearing or construction shall be removed within 30 days of creation or have a 30 foot maintained clearance until the piles are removed.**

IV. Appendix

APPENDIX A

SOUTHPOINTE MEADOWS

FIRESCAPING STANDARDS

Firescaping is an approach to landscaping to help protect homes from wildland fires. The goal is to create a landscape that will slow the advance of a wildfire and create a Defensible Space that provides the key point for firefighting agencies to defend the home. This approach has a landscape zone surrounding the home containing a balance of native and exotic plants that are fire and drought resistant, help control erosion, and are visually pleasing. Firescaping is designed not only to protect the home but to reduce damage to oaks and other plants.

Zone I

The zone extends to not less than 30 feet from the house **or to the property line whichever is less** in all directions and has a traditional look of irrigated shrubs, flowers gardens, trees and lawns. All dead trees, brush, concentrations of dead ground fuels (tree limbs, logs etc. exceeding 1 inch in diameter) shall be removed. All native oak trees, conifers and brush species are pruned up to 10 feet above the ground as measured on the uphill side but no more than 1/3 of the live crown. The plants in this zone are generally less than 18 inches in height, must be slow to ignite from windblown sparks and flames. Such plants should produce only small amounts of litter and retain high levels of moisture in their foliage year around. Native and exotic trees are permitted inside the Zone, but foliage may not be within 10 feet of the roof or chimney. Grass and other herbaceous growth within this zone must be irrigated or if left to cure must be mowed to a 2 inch stubble, chemically treated or removed. Such treatment must be accomplished by June 1, annually. This zone has built in firebreaks created by driveways, sidewalks etc.

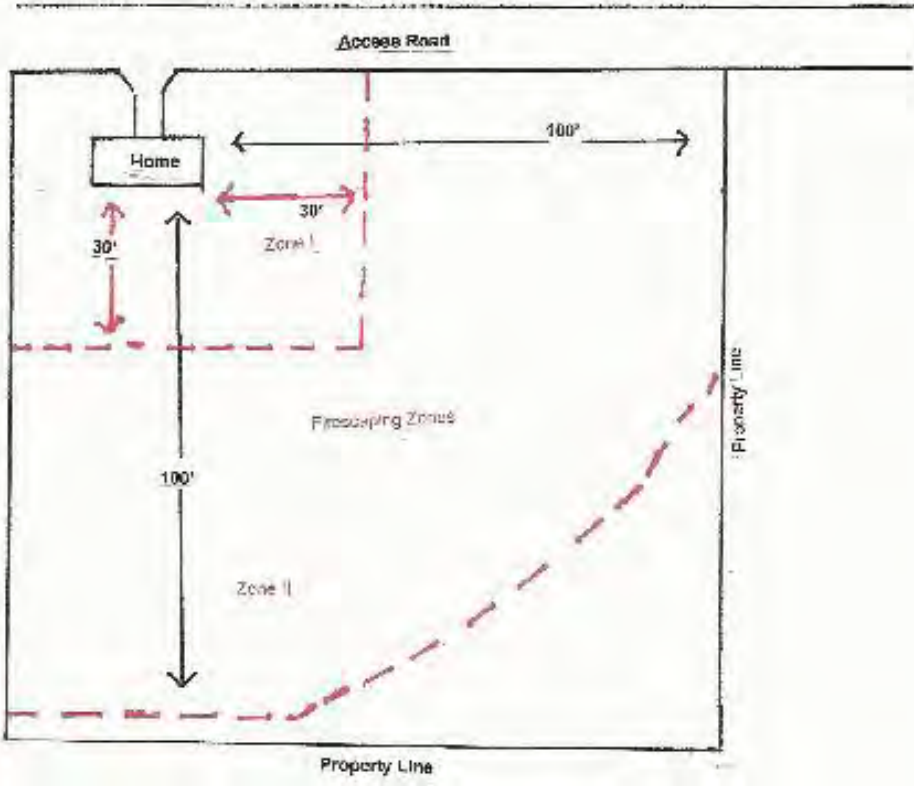
Zone II

This Zone adds 70 feet to Zone I and extends a minimum of 100 feet from the house in all directions, **or to the property line whichever is less**, and is a transition area to the outlying vegetation. The zone is a band of low growing succulent ground covers designed to reduce the intensity, flame length and rate of spread of an approaching wildfire. Irrigation may be necessary to maintain a quality appearance and retain the retardant ability of the plants. All dead trees, brush, concentration of dead ground fuels (tree limbs, logs etc.) exceeding 2 inches in diameter shall be removed. Annual grasses shall be mowed after they have cured to a 2 inch stubble by June 1, annually. Native trees and brush species may be preserved and pruned of limbs up to 8 feet above the ground as measured on the uphill side.

For All Zones With Oaks

Mature, multi stemmed Oaks can present a serious wildfire problem if untreated. Treat the Oaks as to the following specifications: (a) remove all dead limbs and stems and (b) cut off green stems at 10 feet above the ground as measured on the uphill side that arch over and are growing down towards the ground.

**APPENDIX A-1
FIRESCAPING ZONES
EXHIBIT**



APPENDIX B

SOUTHPOINTE MEADOWS

ENCLOSED DECK GUIDELINES

The purpose of enclosing the underside of decks that are cantilevered out over the natural slope is to help prevent heat traps and fire brands from a wildfire igniting the deck or fuels under the deck.

1. Does not apply to decks that are constructed using fire resistant materials such as concrete, steel, stucco etc.
2. Any deck shall not include non-fire rated composite deck material.
3. This applies to decks one story or less above natural slopes.
4. Combustible material must not be stored under the deck.

APPENDIX C

SOUTHPOINTE MEADOWS

OAK TREATMENT

A one-time treatment of all the trees within this new development shall follow this guideline. Homeowners are advised to use this guideline in the maintenance of their native oaks.

1. Remove all deadwood from the trees.
2. Thin the clumps of liveoaks to 4 stems per clump.
3. Remove as much mistletoe as possible.
4. Trim all branches that hang towards the ground so no branch is within 10' of the ground.
5. Remove all gray pines within 30' of a structure.
6. Irrigated landscaping under native oaks is damaging to the oaks. Keep irrigation out from under the dripline of the tree's canopy.

APN 11045007



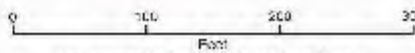
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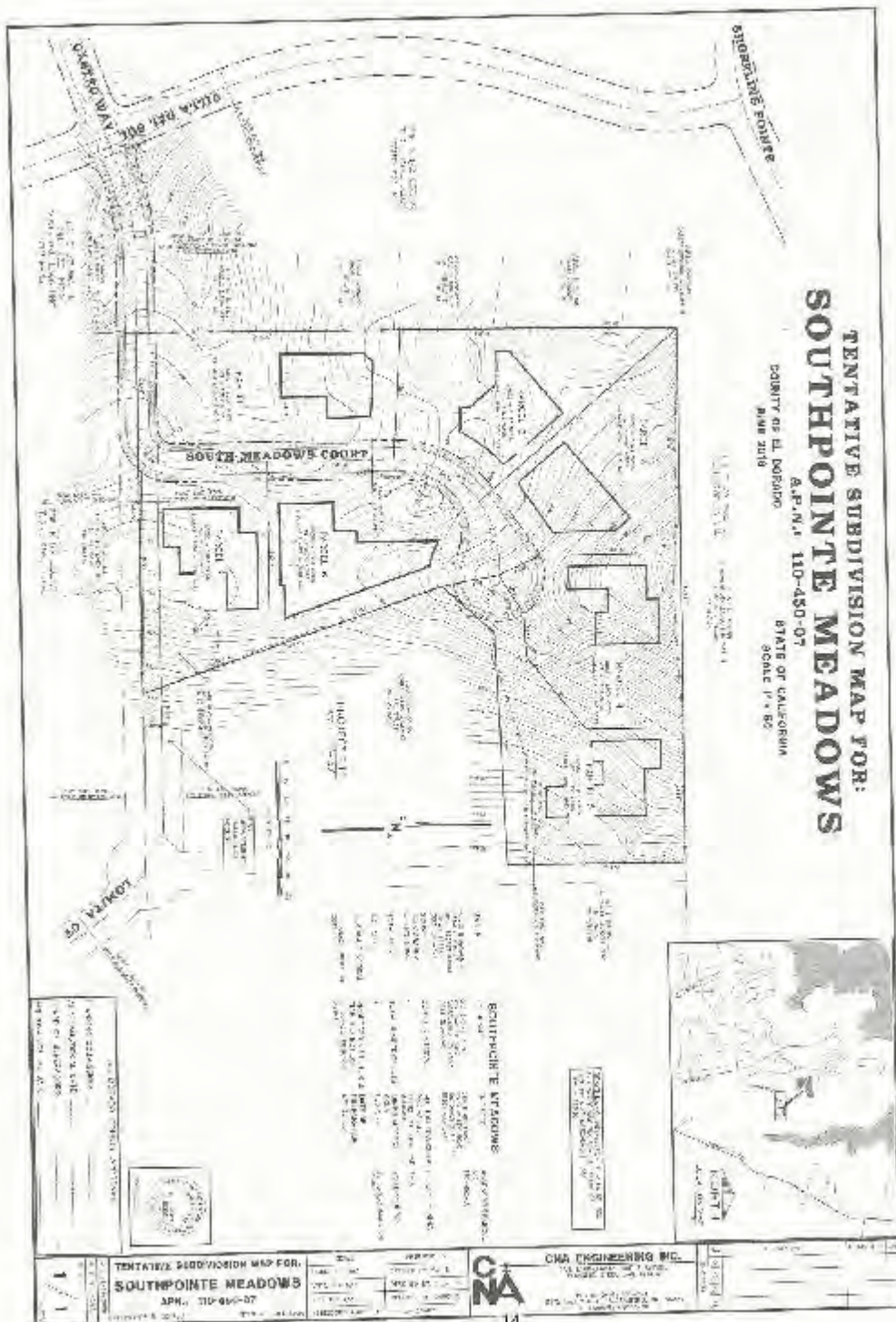
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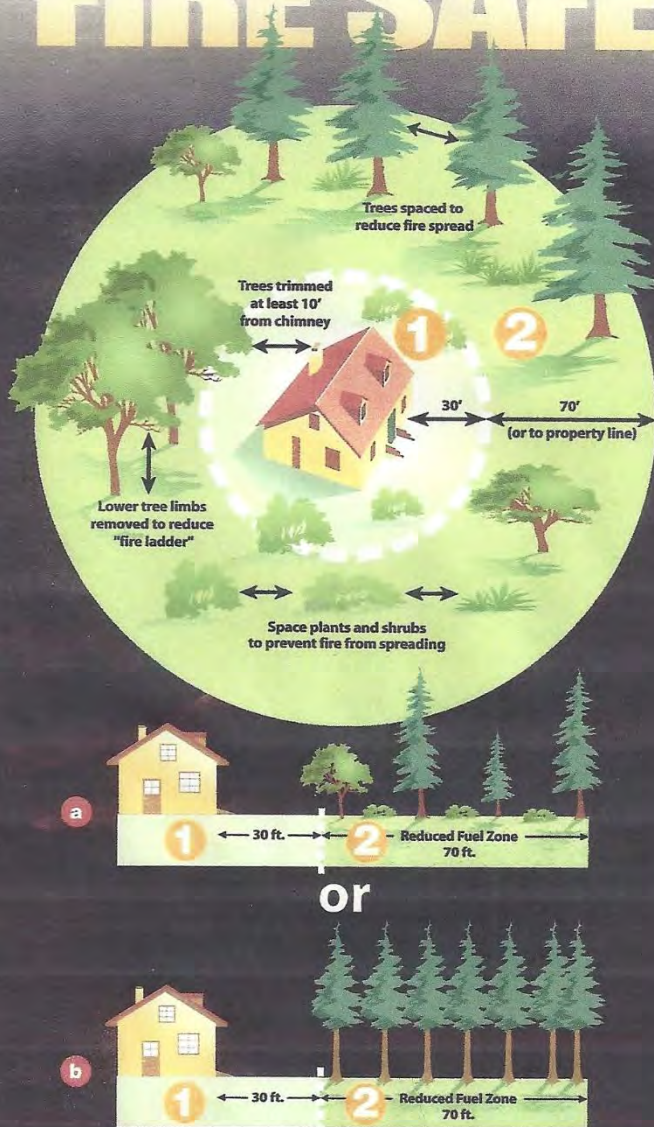


Map Displayed in State Plane Coordinate System
(NAD 1983 California Zone 2, feet)



CAL FIRE GUIDELINE

100' DEFENSIBLE SPACE Make Your Home FIRE SAFE



Contact your local CDF office, fire department, or Fire Safe Council for tips and assistance.
www.fire.ca.gov

Why 100 Feet?

Following these simple steps can dramatically increase the chance of your home surviving a wildfire!

A **Defensible Space** of 100 feet around your home is required by law.¹ The goal is to protect your home while providing a safe area for firefighters.

1 "Lean, Clean and Green Zone"

— Clearing an area of 30 feet immediately surrounding your home is critical. This area requires the greatest reduction in flammable vegetation.

2 "Reduced Fuel Zone."

— The fuel reduction zone in the remaining 70 feet (or to property line) will depend on the steepness of your property and the vegetation.

Spacing between plants improves the chance of stopping a wildfire before it destroys your home. You have two options in this area:

- a Create horizontal and vertical spacing between plants. The amount of space will depend on how steep the slope is and the size of the plants.
- b Large trees do not have to be cut and removed as long as all of the plants beneath them are removed. This eliminates a vertical "fire ladder."

When clearing vegetation, use care when operating equipment such as lawnmowers. One small spark may start a fire; a string trimmer is much safer.

Remove all build-up of needles and leaves from your roof and gutters. Keep tree limbs trimmed at least 10 feet from any chimneys and remove dead limbs that hang over your home or garage. The law also requires a screen over your chimney outlet of not more than 1/2 inch mesh.

¹ These regulations affect most of the grass, brush, and timber-covered private lands in the State. Some fire department jurisdictions may have additional requirements. Some activities may require permits for tree removal. Also, some activities may require special procedures for, 1) threatened and endangered species, 2) avoiding erosion, and 3) protection of water quality. Check with local officials if in doubt. Current regulations allow an insurance company to require additional clearance. The area to be treated does not extend beyond your property. The State Board of Forestry and Fire Protection has approved Guidelines to assist you in complying with the new law. Contact your local CDF office for more details.



April 2006



State of California
Department of Forestry and Fire Protection

NOTICE OF FIRE HAZARD INSPECTION

A representative from CAL FIRE has inspected your property for fire hazards. You are hereby notified to correct the violation(s) indicated below.
Failure to correct these violations may result in a citation and fine.

Occupant:		Physical Address:			Phone #:	
Occupant Not Home: 1 st Attempt: / /	Occupant Not Home: 2 nd Attempt: / /	Refused Inspection: / /	For Questions, Contact Inspector at: ()		Battalion #:	
Roof Construction Combustible/Non-Combustible	Exterior Siding Combustible/Non-Combustible	Window Panes Single Pane/Double Pane	Decks or Porches Framed/Unframed	Decks or Porches Masonry/Concrete/Wood	Location of Structure Flr. Ground/Slope/Ridge Top	

- Violations:**
- 2 3 A. Remove leaves, needles or other vegetation on roofs, gutters, decks, porches and stairways etc. PRC §4291(a)(6)
 - 2 3 B. Remove all dead trees, shrubs or other plants adjacent to or overhanging buildings. PRC §4291(a)(5)
 - 2 3 C. Remove all dead or dying branches and stumps from trees, shrubs or other plants adjacent to or overhanging buildings. PRC §4291(a)(5)
 - 2 3 D. Remove all branches within 10 feet of any stovepipe or chimney outlet. PRC §4291(a)(4)
 - 2 3 E. Remove all dead or dying grass, leaves, needles or other vegetation. PRC §4291(a)(f)
 - 2 3 F. Remove or isolate live flammable ground cover and shrubs (i.e. Bear Clover, Mountain Misery, Juniper etc.). PRC §4291(a)(1)
- Reduced Fuel Zone (within 30 - 100 feet of all structures or to property line):**
- 2 3 G. Mow dead or dying grass to a maximum of 4 inches in height. Trimmings may remain on the ground. PRC §4291(a)(1)
 - 2 3 H. Live flammable ground cover less than 18 inches in height (i.e. Mountain Misery, Bear Clover etc.) may remain, but overhanging and adjacent trees must be pruned up to 15 feet. PRC §4291(a)(1)
 - 2 3 I. Reduce fuels in accordance with the Continuous Tree Canopy Standard (see back). PRC §4291(a)(1)
 - 2 3 J. Reduce fuels in accordance with the Horizontal Spacing Standard (see back). PRC §4291(a)(1)
- Defensible and Reduced Fuel Zone (within 100 feet of all structures or to property line):**
- 2 3 K. Logs or stumps embedded in the soil must be removed or isolated from structures and other vegetation. PRC §4291(a)(1)
 - 2 3 L. Remove all dead or dying brush, trees and branches within 15 feet of the ground. PRC §4291(a)(1)
- Other Requirements:**
- 2 3 M. Clear dead, dying or flammable vegetation within 10 feet around and above propane tanks. CFC §3807.3
 - 2 3 N. Address numbers shall be displayed in contrasting colors (4" Min. Size) and readable from the street or access road. CFC §505.1

- Recommendations:**
- Cover all chimney or stovepipe openings with a metal screen having openings no larger than 1/2 inch.
 - Clear 10 feet around and 15 feet above fuels (i.e. Woodpiles, lumber, scrap etc.). Move woodpiles as far as possible from structures.
 - Remove flammable materials stored under decks and similar overhangs of structures.
 - Clear vegetation 10 feet from sides and 15 feet above all driveways and turnaround areas.

Comments:

Additional Information on Back

Complete only if occupant contacted

1. Inspector: _____	Date: / /	A re-inspection will occur on/after: / /
2. Inspector: _____	Date: / /	A re-inspection will occur on/after: / /
3. Inspector: _____	Date: / /	

AEU 0209

(White-Inspector, Canary-1st to Occupant, Pink-2nd to Occupant, Gold-3rd to Occupant)