

**Silver Springs
Unit 1**

Wildfire Fire Safe Plan

Prepared for:

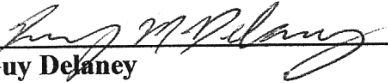
Silver Springs LLC

Prepared by:

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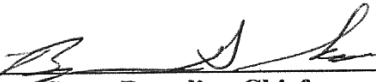
April, 2006

Plan Approved by:



Guy Delaney
Fire Captain
Rescue Fire Protection District

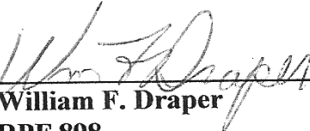
3-29-06
Date



Ben Scott, Battalion Chief
Fire Prevention
California Department of Forestry
and Fire Protection

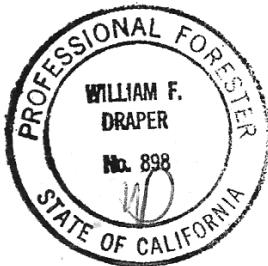
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William F. Draper
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3-30-06
Date



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I. PURPOSE AND SCOPE

Communities are increasingly concerned about wildfire safety. Drought years coupled with flammable vegetation and annual periods of severe fire weather insure the potential for periodic wildfires.

The purpose of this plan is to assess the wildfire hazards and risks of this two hundred and thirty-four lot development and to identify measures to reduce these hazards and risks and protect the native vegetation. There are moderate fuel hazards and topography associated with this proposed development both on and adjacent to the project.

The possibility of large fires occurring when this project is complete will be greatly reduced. However, small wildfires in the open space areas and on the larger lots may occur due to the increase in public uses. The proximity to the Pleasant Grove Middle School and its recreational use is a constant threat to these parcels.

Incorporation of the fire hazard reduction measures into the design and maintenance will reduce the size and intensity of wildfires and help prevent catastrophic fire losses. State and County regulations provide the basic guidelines and requirements for fire safe mitigation measures and defensible space around dwellings. This plan builds on these basic rules and provides additional fire hazard reduction measures customized to the topography and vegetation of the development with special emphasis on the interface of homes and wildland fuels.

The scope of the Silver Springs Wildfire Fire Safe Plan recognizes the extraordinary natural features of the area and designs wildfire safety measures which are meant to compliment and become part of the development design. The Plan contains measures for providing and maintaining defensible space around future homes. Plan implementation measures must be maintained in order to assure adequate wildfire protection.

Homeowners who live in and adjacent to the wildfire environment must take primary responsibility along with the fire services for ensuring their homes have sufficient low ignitability and surrounding fuel reduction treatment. The fire services should become a community partner providing homeowners with technical assistance as well as fire response. For this to succeed, it must be shared and implemented equally by homeowners and the fire services.

II. FIRE PLAN LIMITATIONS

The Wildfire Fire Safe Plan for this development does not guarantee that wildfire will not threaten, damage or destroy natural resources, homes or endanger residents. However, the full implementation of the mitigation measures will greatly reduce the exposure of homes to potential loss from wildfire and provide defensible space for firefighters and residents as well as protect the native vegetation. Specific items are listed for homeowner's attention to aid in home wildfire safety.

III. WILDFIRE FIRE SAFE PLAN

1. PROJECT DESCRIPTION – Unit 1

This first unit is located within the unincorporated community of Rescue/Cameron Park on a generally west facing slope, west of Pioneer Place off of Bass Lake Road and south of Green Valley Road. Silver Springs Parkway will be the western boundary once built. This project has 53 lots varying in size from .244 to .538 acres. These roads are 36 feet wide with 4 foot sidewalks on each side. Primary access is from Silver Springs Parkway. The roadways of unit 1 connect to Foxmore Lane which intersects with Bass Lake Road. Lamberth Drive ties into Foxmore and Bass Lake providing additional access.

Structural fire protection is provided by the Rescue Fire Protection District and wildland fire protection by the California Department of Forestry and Fire Protection (CDF). A fire hydrant system will serve the new area with hydrant locations approved by the fire department.

2. PROJECT VEGETATION (FUELS)- Unit 1

For wildfire planning purposes the vegetation is classified as follows:

- (a) ground fuels- annual grasses with scattered down trees and limbs
- (b) overstory- Gray Pines, White oaks and Liveoaks
- (c) riparian- grasses and willows

The heaviest fuel loading throughout the unit is grass. This will be significantly reduced through construction. There are a few down trees with the Gray pines and oaks in the open space area identified as Lot L. Oaks are scattered throughout the unit. There is a small drainage meandering through the open space. Vegetation along this channel would indicate that it does not carry water throughout the year. The problem of fuel laddering exists in the open space. Gray pines are extremely hazardous from a fire ignition and sudden deterioration. Trees in the open space must be pruned to separate the low limbs from the flashy grass fuels. Gray pines should be considered for removal/replacement. Those oaks with more than 50% mistletoe should be considered for replacement. They will become a fire maintenance issue in the future. Those trees with less than 50% mistletoe in their canopy should be pruned to eliminate the mistletoe.

3. PROBLEM STATEMENTS

A. The ground fuels on the western facing slopes will ignite and have a rapid rate of spread.

Fire in the ground fuels on the slopes is the most serious wildfire problem for this project.

B. A percentage of the project has moderate slopes, which increases the rate of wildfire spread.

Wildfires rate of spread increases dramatically as slope increases. This project has moderate grassy slopes.

C. Risk of fire starts will increase with development.

The greatest risk from fire ignition will be along roads, in the open space areas and on large lots as human use on these areas increase.

D. Provisions must be made to maintain all fuel treatments.

The wildfire protection values of fuel reduction are rapidly lost if not maintained. Annual maintenance by June 1 of each year is necessary.

E. Typical home design and siting often does not recognize adequate wildfire mitigation measures.

A review of many wildfires has conclusively shown that most home losses occur when: (1) there is inadequate clearing of flammable vegetation around a house, (2) roofs are not fire resistant, (3) homes are sited in hazardous locations, (4) firebrand ignition points and heat traps are not adequately protected and (5) there is a lack of water for suppression.

4. GOALS

- A. Modify the continuity of high hazard vegetation fuels.
- B. Reduce the size and intensity of wildfires.
- C. Ensure defensible space is provided around all structures.
- D. Design fuel treatments to minimize tree removal
- E. Ensure fuel treatment measures are maintained.
- F. Identify fire safe structural features.
- G. Help homeowners protect their homes from wildfire.

5. WILDFIRE MITIGATION MEASURES

Wildfire mitigation measures are designed to accomplish the Goals by providing and maintaining defensible space and treating high hazard fuel areas. Fire hazard severity is reduced through these mitigation measures. The Wildfire Fire Safe Plan places emphasis on defensible space around structures.

Silver Springs Unit 1 is has an established subdivision on its eastern side. Lot L is an open space area at the south end. Unit 2 will abut this open space when developed. To the west of Unit 1 is rolling grass-oak woodland. Silver Springs Parkway separates this subdivision from Pleasant Grove Middle School and undeveloped grass-oak woodland.

The landscaped buffer along Silver Springs Parkway identified as Lots J and K shall be irrigated and maintained to reduce the fire hazard to lots 1-3 and 30, 31, and 33-37.

Mitigation Measures:

- **All homes shall have Class A listed roof assembly.**
Responsibility- homeowner
- **Lots 26, 27, 29 and 30 shall have a 30 foot set back from the open space for all structures.**
Responsibility- builder

If the homes on these four lots can not meet this setback requirement, they shall incorporate the following into their construction:

1. Windows on the side(s) of the structure, less than 30 feet from a property line, shall have tempered glass with a fire resistant frame.
2. Doors on the side(s) of the structure, less than 30 feet from the property line, shall be self closing and one hour rated.
3. Rafter tails shall be enclosed with noncombustible material on the side(s) of the structure that is less than 30 feet from the property line.
4. Exterior wall sheathing shall be one hour rated noncombustible sheathing on the side(s) of the structure that is less than 30 feet from the property line.
5. Gutters and downspouts shall be noncombustible.
6. Attic and floor vents shall be covered with $\frac{1}{4}$ inch or less noncombustible mesh and horizontal to the ground.

6. **OTHER FIRE SAFE REQUIREMENTS**

- A. Every 5 years the Fire Department may review open space areas with the legal entity for the development to determine if additional fuel hazard reduction work is necessary.
- B. A Notice of Restriction shall be filed with the final subdivision map which stipulates that a Wildfire Fire Safe Plan has been prepared and wildfire mitigation measures must be implemented.
- C. The project shall meet all the Public Resource Codes 4290 as amended (the 1991 SRA Fire Safe Regulations- Article 2 Access, Article 3 Signing, Article 4 Water, Article 5 Fuels), County and Fire Department ordinances.
- D. A legal entity (Zone of Benefit, CSD etc.) shall be created, with authority for maintaining and enforcing all fuel treatment mitigation measures, if homeowners fail to implement or maintain. Covenants, Conditions and Restrictions must be developed to ensure the enforcement of the structural and wildland Fire Safe regulations.
- E. The water hydrant system shall meet the California Fire Code specifications to water volume and pressure.
- F. The homeowner/property owner is responsible for any future fire safe or building code changes adopted by the State or local authority when a new building permit is issued.
- G. Driveways over 16% grade shall be paved.
- H. All driveways must be a minimum of 12 feet wide.
- I. Vegetation in the open space shall be maintained annually by June 1.

- J. All developed access points to the open space shall be posted "No Smoking".
- K. All developed trails within the open space shall be brushed/mowed 5 feet on either side of the trail by June 1 annually.

F. Appendix

Appendix A

SILVER SPRINGS
FUEL TREATMENT SPECIFICATIONS

For

OAK WOODLAND VEGETATION

Within The Designated Fuel Treatment Areas

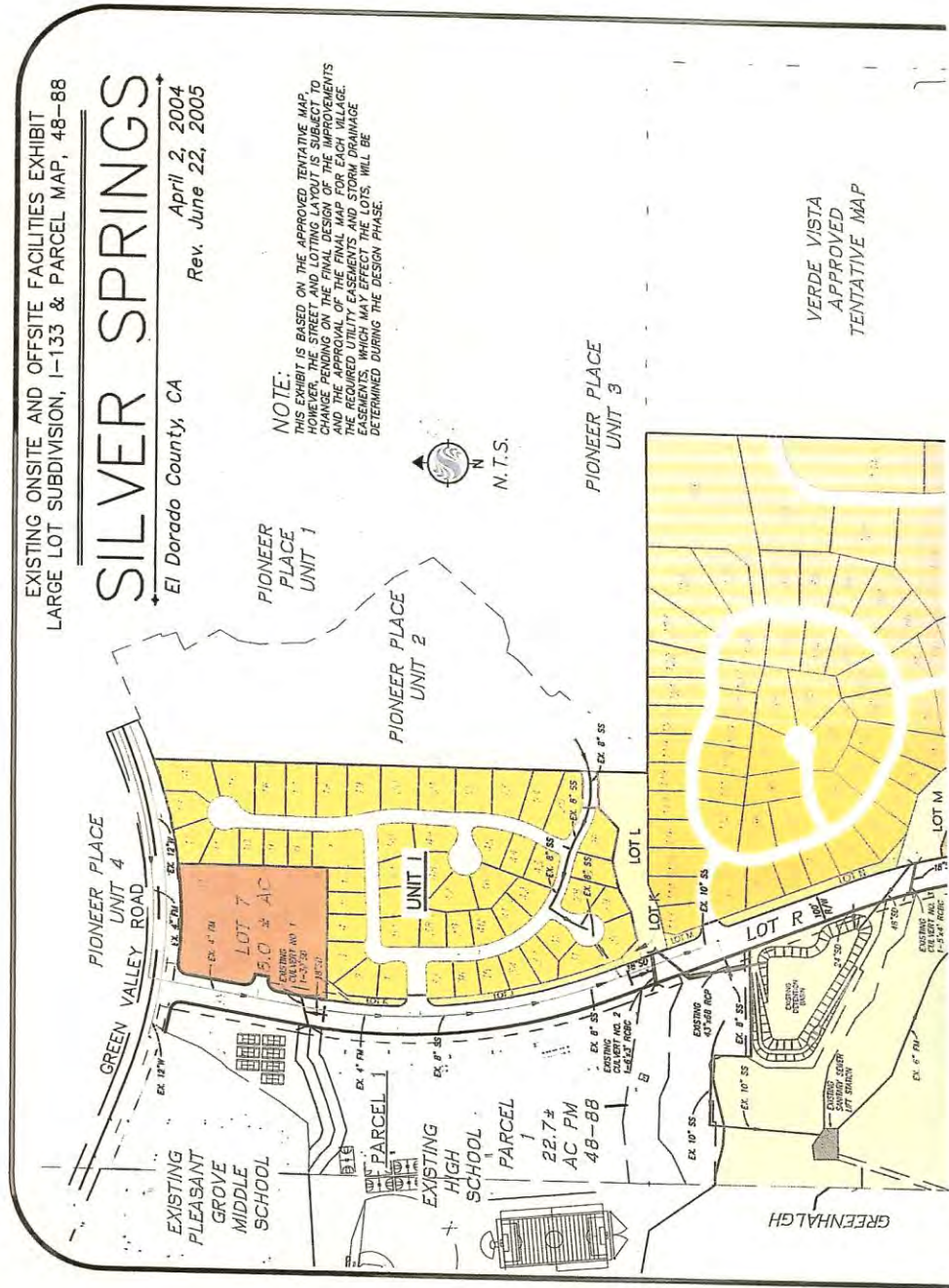
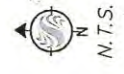
1. Leave all live trees **EXCEPT** Gray pines.
2. Remove all dead trees.
3. Remove all brush.
4. Prune all live trees of dead branches and green branches 8 feet from the ground as measured on the uphill side of the tree, except no more than 1/3 of the live crown is removed. All slash created by pruning must be disposed of by chipping, burning or hauling off site.
5. Annually by June 1, reduce the grass or weeds to a 2 inch stubble by mowing, chemical treatment, disking or a combination of treatments.
6. Mature, multi stem Live Oak trees: remove all dead limbs and stems, cut off green stems at 8 feet above the ground as measured on the uphill side that arch over and are growing towards the ground.

EXISTING ONSITE AND OFFSITE FACILITIES EXHIBIT
 LARGE LOT SUBDIVISION, I-133 & PARCEL MAP, 48-88

SILVER SPRINGS

El Dorado County, CA
 April 2, 2004
 Rev. June 22, 2005

NOTE:
 THIS EXHIBIT IS BASED ON THE APPROVED TENTATIVE MAP. HOWEVER, THE STREET AND LOTTING LAYOUT IS SUBJECT TO CHANGE, PENDING ON THE FINAL DESIGN OF THE IMPROVEMENTS TO THE ONSITE AND OFFSITE FACILITIES FOR EACH PHASE. THE REQUIRED UTILITY EASEMENTS AND STORAGE EASEMENTS, WHICH MAY AFFECT THE LOTS, WILL BE DETERMINED DURING THE DESIGN PHASE.



VERDE VISTA
 APPROVED
 TENTATIVE MAP

